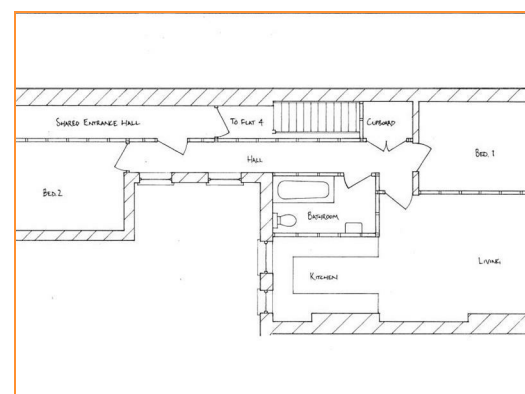
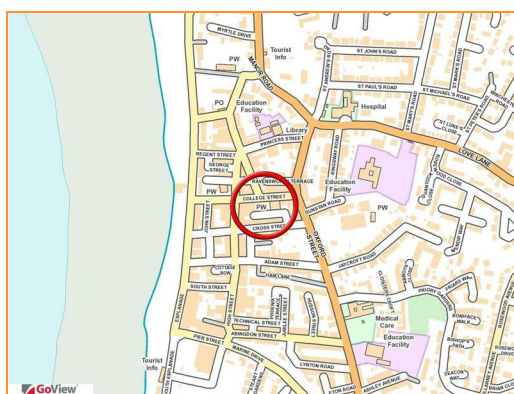
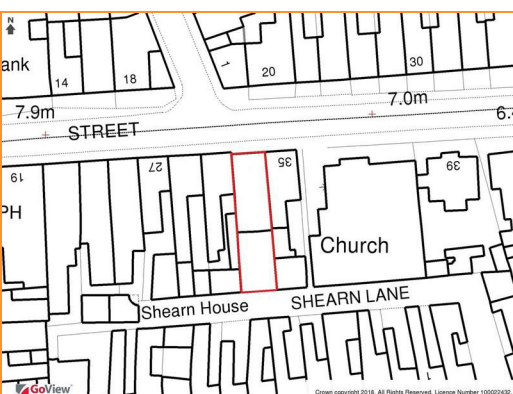




33 College Street, Burnham-On-Sea, North Somerset, TA8 1AS

Sold @ Auction £150,000

Hollis Morgan SEPTEMBER AUCTION - A FREEHOLD property (2697 Sq Ft) with PLANNING GRANTED for a RESIDENTIAL SCHEME with PARKING and further POTENTIAL.



33 College Street, Burnham-On-Sea, North Somerset, TA8 1AS

FOR SALE BY AUCTION

*** SOLD @ HOLLIS MORGAN SEPTEMBER AUCTION ***

GUIDE £150,000
SOLD £150,000

LOT NUMBER 11

Wednesday 25th September 2019
All Saints Church Pembroke Road, Clifton, Bristol BS8 2HY
Legal Pack Room and Registration will be open from 18:15
The sale will begin promptly at 19:00

EXTENDED COMPLETION

Completion is set for 8 weeks or earlier subject to mutual consent.

ONLINE LEGAL PACKS

Digital Copies of the Online legal pack can be downloaded Free of Charge.
Please visit the Hollis Morgan Website and select the chosen lot from our Current Auction List.
Follow the RED link to "Download Legal Packs" For the first visit you will be required to register simply with your email and a password.
Having set up your account you can download legal packs or if they are not yet available they will automatically be sent to you when we receive them.
You will be automatically updated by email if any new information is added.
There will be a note added to the list to confirm AUCTION PACK NOW COMPLETE when no further information is due to be added.
*** STAY UPDATED *** By registering for the legal pack we can ensure you are kept updated on any changes to this Lot in the build up to the sale.

SOLICITORS

Hallam Merryweather
Merryweather Williams Solicitors
e: info@merryweatherwilliams.com
t: 01278 780151

THE PROPERTY

A Freehold property occupying a prominent mid terraced position in this busy location close to the popular sea front.
The property is sold with vacant possession and has been previously used as a high street bank trading on the ground floor with ancillary accommodation including kitchens and bathrooms on the upper floors with off street parking to the rear.
The property has been stripped of asbestos and is cleared ready for work to commence.

LOCATION

College Street is a prominent high street within the popular seaside town of Burnham On Sea. Local amenities and services are all within close proximity including independent retailers, cafes, bars and restaurants as well the sea front which is a short walk away. Bristol City Centre is approximately 40 miles away and is easily accessible via the M5.

THE OPPORTUNITY

PLANNING GRANTED - RESIDENTIAL DEVELOPMENT

Planning has been granted to convert the upper floors into residential units with access from the rear.

IMPROVEMENT ON CURRENT SCHEME

Buyers may wish to consider a change to the current proposed layout to take advantage of the full width at the front of the property and to move the open plan living accommodation to this space.
Subject to consents.

FURTHER POTENTIAL

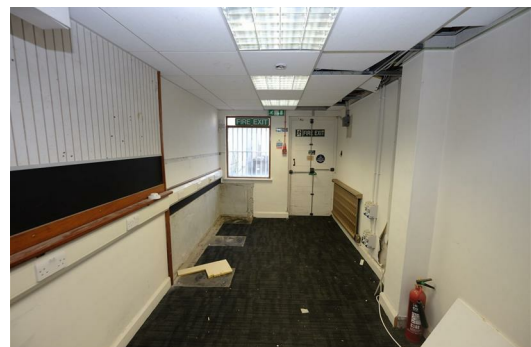
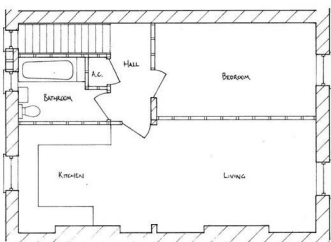
Whilst the principle of residential development has been established there may be scope (subject to consents) for a higher density scheme.
The ground floor is likely to have to retain an element of retail but there may be scope to convert the rear section into residential.
Equally there may be potential for a house / dwelling in the rear car park area.

PLANNING GRANTED

Parish/Town Council: Burnham & Highbridge
Registered Date: 30/05/2019
Type: Full Planning Permission
Applicant: GCGP Properties Limited
Location: 33 College Street, Burnham On Sea, Somerset, TA8 1AS
Proposal: Change of use and conversion of first and second floors from Use Class A2 to form 2 No. self contained flats (Use Class C3)
Decision Date: 17/07/2019
Decision: Granted Permission
Decision Level: Delegated
Case Officer: Liam Evans

PLANNING INFORMATION

Full details of the proposed scheme and drawings can be downloaded with the online legal pack.



e-mail: post@hollismorgan.co.uk www.hollismorgan.co.uk

9 Waterloo Street, Clifton, Bristol BS8 4BT. Telephone: **0117 973 65 65**

Hollis Morgan Property Limited, registered in England, registered 7275716. Registered address, 5 Upper Belgrave Road, Clifton, Bristol BS8 2XQ

EPC

For full details of the EPC please refer to the online legal pack.

GUIDE PRICE

An indication of the seller's current minimum acceptable price at auction. The guide price or range of guide prices is given to assist consumers in deciding whether or not to pursue a purchase. It is usual, but not always the case, that a provisional reserve range is agreed between the seller and the auctioneer at the start of marketing. As the reserve is not fixed at this stage and can be adjusted by the seller at any time up to the day of the auction in the light of interest shown during the marketing period, a guide price is issued. This guide price can be shown in the form of a minimum and maximum price range within which an acceptable sale price (reserve) would fall, or as a single price figure within 10% of which the minimum acceptable price (reserve) would fall. A guide price is different to a reserve price (see separate definition). Both the guide price and the reserve price can be subject to change up to and including the day of the auction.

RESERVE PRICE

The seller's minimum acceptable price at auction and the figure below which the auctioneer cannot sell. The reserve price is not disclosed and remains confidential between the seller and the auctioneer. Both the guide price and the reserve price can be subject to change up to and including the day of the auction.

BUYER'S PREMIUM

Please be aware all purchasers are subject to a £1000 + VAT (£1,200 inc VAT) buyer's premium which is ALWAYS payable upon exchange of contracts whether the sale is concluded before, during or after the auction date.

PRE AUCTION OFFERS

Some properties may be available to buy prior to the auction.
Pre auction offers can only be submitted by completing the OFFER FORM which can be downloaded with the online legal pack - please email the COMPLETED form to - olly@hollismorgan.co.uk.
Please note offers will not be considered until you have VIEWED the property and the COMPLETE LEGAL PACK has been released.
You will be emailed a note to confirm the AUCTION PACK NOW COMPLETE and then offers can be submitted.

In the event of an offer being accepted the property will only be removed from the auction and viewings stopped once contracts have successfully EXCHANGED subject to the standard auction terms and payment of the buyer's premium (£1,200) to Hollis Morgan. Contracts can be signed either via the solicitors or at the Hollis Morgan offices subject to appointment.

AUCTION BUYERS GUIDE VIDEO

We have short video guides for both buying and selling by Public Auction on the Hollis Morgan Website. If you have any further questions regarding the process please don't hesitate to contact Auction HQ.

SURVEYS AND VALUATIONS

If you would like to arrange a survey or mortgage valuation of this Lot BEFORE the auction please instruct your appointed surveyor to contact Hollis Morgan and we will arrange access for them to inspect the property. Please note that buyers CANNOT attend the surveys and the surveyors are responsible for collecting and returning keys to the Hollis Morgan offices in Clifton.

BIDDING AT THE AUCTION

This property is for sale by public auction and if you intend to bid please bring the following:

Proof of identity (valid passport or photo driving licence).
Proof of address (bank statement, recent utility bill, council tax bill or tenancy agreement).
10% deposit payment.
Buyers premium payment.
Details of your solicitor.

You will need to register to bid – registration will be open from 18:15

Forms can be downloaded and completed beforehand (found in the legal pack) or collected at the auction venue.

PAYING THE DEPOSIT & BUYERS PREMIUM

We can only accept the following at the auction:

Personal or Company Cheque
Bankers Draft
Debit Card (NOT CREDIT CARD)

TELEPHONE AND PROXY BIDDING

If you cannot attend the auction (although we strongly advise you do) you can make a TELEPHONE or PROXY BID. This authorises the auctioneer to bid on your behalf up to a pre-set limit. Forms and relevant conditions are available to download with the online legal pack. A completed form, ID and two cheques (one for the 10% deposit and one for the Buyer's Administration Fee of £1,200) are required by the Auction Department at least two full working days before the auction.

AUCTION FINANCE

Some properties may require specialist auction finance- please contact Hollis Morgan for access to expert advice and "whole of market" rates.

WHY HOLLIS MORGAN?

WHY HOLLIS MORGAN?
Hollis Morgan regularly hold the largest property auctions across Bristol and the West Country from our iconic Sale Room in Clifton, since we formed in 2010 we have sold the most £££'s of land and property by